

A-1 RANCH

ARCHITECTURAL DESIGN GUIDELINES

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The Summarized Construction Regulations and Fine Schedule are also included

1.0 The A-1 Ranch Philosophy

The design philosophy of A-1 Ranch is to use the finest design elements from distinctive places to create a presence in the landscape. In such a way, we have made our own statement; which is the result of careful planning and design.

We have employed high standards of design and attention to the land to achieve a natural connection to the landscape. We have used the principles of continuity in architectural style, a limited number of building materials, subtle colors, and comfortable human scale, landscaping interface with the natural surroundings, and a simple practicality in our approach to design. The result at A-1 Ranch is a unique sense of place set apart from all other neighborhoods.

Homes in A-1 Ranch should be designed to respond to your needs, your site's unique environment and views, and the regulations of the Architectural Review Committee (ARC). To ensure that your home will harmonize with the A-1 Ranch community, professional design assistance is strongly recommended. The most significant factor of designing your home is that it fit the existing terrain.

Plan book or "stock" plans cannot take full advantage of your site's unique features and may not be permitted by the ARC. Certain architectural styles such as Santa Fe, Spanish, Victorian, Tudor and A-frame construction are not permitted in A-1 Ranch.

Homes are to be designed in a manner that integrates and preserves natural features in A-1 Ranch area - vegetation, rock outcroppings and slope of land, - as much as possible. Thus, you will want to assess your site thoughtfully, orienting and designing your home in rhythm with the natural features and/or views of your property. Your home should appear to be an integral element of the landscape rather than a structure superimposed on a site. Homes should be designed with a horizontal emphasis, keeping the structure fairly low to the ground.

Driveways, garages and parking areas are major disruptions of the environment; thus, they should be designed in a way that minimizes impact on vegetation and topographical features. Natural paving materials in earth tone colors are encouraged throughout A-1 Ranch. Drives, garages and parking areas should be kept visually subordinate to the pedestrian entry of your home so that the exterior charm of your home is what you and others experience first.

As you consider the placement of your home on the site, be aware of the concept of the *developable area*. The developable area indicates the volume of space that can be utilized for your home, its drives, cuts and fills, landscaping, etc. It does not indicate the ultimate shape or appearance of your home, but it does define the boundary or framework within which construction can occur.

The ARC must review and authorize all construction of homes within A-1 Ranch and all aspects of improvements on each property to assure compliance with these standards. A fee established by the Board of Directors will be assessed for this service. All construction must comply with the Covenants, Conditions and Restrictions (CC&Rs) for the A-1 Ranch community.

The design review regulations are intended to maintain the highest standards to safeguard the beauty of the community and to protect your investment. Designs that are determined by the ARC to be incompatible with the community standards will not be permitted.

Our objective is derived in many ways from the country's experience in national and state parks (local archeological and mining history) where private use has been introduced into a world of exceptional natural beauty. For that reason, the design guidelines for A-1 Ranch are based on architectural and landscape concepts in which the overriding objective is to build in harmony with nature.... To develop settings where people can spend part of their lives, in a "wild, scenic, beauty... as a sanctuary from the turmoil and artificiality of the city".

Many individuals have successfully built on that tradition in mountain communities through the country, and at A-1 Ranch, there is a parallel intent: To

create a place to live-at-the-mountains...to enjoy the pleasure of a spectacular Arizona environment....while living in a community and in homes that appear as a natural extension of a magnificent landscape.

This approach to design is spelled out on the following pages and incorporated into these design guidelines.

A-1 RANCH ARCHITECTURAL GUIDELINES

Climate, terrain, vistas and existing vegetation at A-1 Ranch have all contributed to shaping these guidelines. The following regulations are intended to ensure an environmentally sound and aesthetically pleasing development at A-1 Ranch that is in harmony with the natural environment and your neighbors' home sites.

2.0 Site Planning



Care should be taken to review seasonal groundwater conditions and drainage across your home site. Siting and grading within the developable area should be established to allow for drainage. Certain properties may require a drainage plan prepared by a civil engineer or architect.

Construction in a forested area can create tree stress, which increases the risk of insect infestation. Excavating, earth filling, paving, soil compaction and trunk wounds are some examples of factors that create tree stress. Preventive measures should be taken before, during and after construction to reduce tree stress.

No clearing, grading or excavation shall begin without written ARC approval.

2.1 Lot Maintenance

It is the responsibility of each owner(s) to maintain their property so as to reduce fire danger and insect infestation. Each owner(s) is required to remove and dispose of infested and dead trees in a timely manner and according to accepted methods.

The following pictures indicate one of the acceptable thinning



techniques:

Removal of trees located in open space or adjacent property is not permitted.

Some established preventive measures are weekly deep-water irrigation, certain approved chemical applications and timely applications of nutrients. (A-1 Ranch Community Association recommends a licensed professional be hired to assist with any of these items.)

2.2 Developable Area

Every structure on your home site must be built within the developable area established by the minimum front, side and rear lot setbacks. All construction, including driveway and parking, cuts and fills, utilities, landscaping, etc., must also be within the developable area. No building or structure is permitted to protrude outside of the setback lines, including roof overhangs (eaves) and deck cantilevers.

Site access (driveway entry), utility lines and minimal landscaping are the only construction permitted outside of the developable area. Extreme care must be taken when designing the site access to minimize environmental impact. The ARC is available to the owner's architect to walk the site to review potential access location(s).

NOTE: The developable area does not represent the ultimate shape or architectural appearance of the residence. It is merely a boundary or framework within which construction can occur. The rustic flavor of the A-1 Ranch concept encourages a great variety in building mass and architectural character.

2.3 Setback Requirements

The minimum building setbacks, which define the developable area, are listed below.

Front Lot Line Setback:	40'
Side Lot Line Setback:	40'
Rear Lot Line Setback:	40'

All structures must be at least 100' from any dwelling on the adjoining lots. It is the owner(s)'s responsibility to confirm the setback requirements with Coconino County. In the event that there is a conflict between the listed setbacks and those identified by Coconino County, the more stringent setback will apply.

No building or auxiliary structure shall protrude outside the developable area, including deck cantilevers and roof overhangs (eaves).

2.4 Maximum Heights

The maximum height for any structure is thirty five (35) feet from the lowest natural grade at the house foundation, to the heights roof peak. Chimneys may exceed height limits by four feet. Ground floor of any two-story dwelling must cover a minimum of one thousand four hundred (1,400) square feet.

2.5 Developable Area Adjustments

If it can clearly be shown during your preliminary design phase that an adjustment to the developable area will result in an improved site design, the ARV will consider adjustments in the developable area. If such a request is made, indicate the original developable area limitations and proposed developable area on a site plan, as well as a description of the reasons for the request. Written approval of all adjoining property owners is required prior to any adjustment. Additionally, if said adjustment does not comply with the Coconino County setback standards, an approved variance from Coconino County may be required.

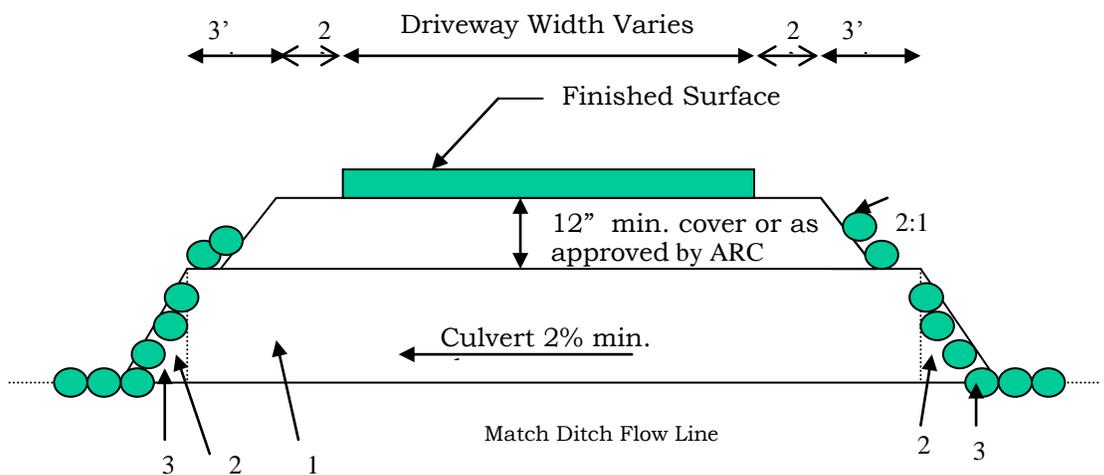
2.6 Drive Design

Since driveways and parking areas have a major impact on the natural landscape, the ARC will review these areas in detail. When designing your driveway, please remember:

1. Drives should be located so as to minimize headlight input upon neighboring homes
2. On corner lots, the driveway center line must be no closer than 35' from any perpendicular road right-of-way

3. Drives should follow the natural contours and meander around existing trees and rock outcroppings or landscaped to compliment the meandering drive
4. Garage doors may be permitted to face the street with authorization by the ARC and must be shown on original plans.
5. Stone and timber are preferred bridge materials
6. A culvert with galvanized metal pipe apron ends, banded to match the culvert pipe end, must be installed at street drain ditches. The ends shall be concealed with rocks and/or landscaping to avoid exposed metal or concrete pipe (see Section 2.6.1)
7. A minimum of two (2) guest parking spaces must be provided within the developable area
8. Where space is limited, the front of the garage may be considered "guest parking" if the space is large enough to accommodate two vehicles
9. It is expected that the drive design will provide turnaround space within the developable area
10. The graded or paved surface of an access drive shall not exceed 16' in width within the front (entry) setback. If a detached garage is authorize, an apron of the same material will be used for the garage entrance.
11. Access drives shall be located to preserve and minimize disruption to significant natural features and plant materials.

2.6.1 Driveway Culverts and Rock Base



Typical Cross Section
Lot Driveway / Entrance approaches
(Not to Scale)

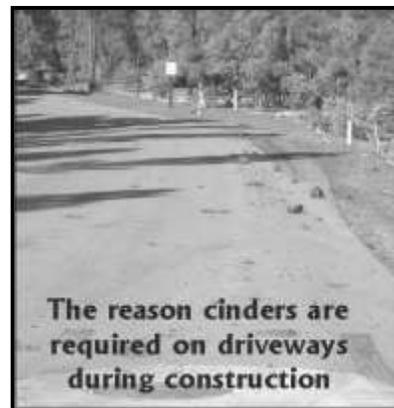
1. Each individual property owner(s) is responsible for the installation of a driveway culvert at the street drain ditch. Culverts shall be a minimum 18" diameter corrugated galvanized metal pipe, unless otherwise approved by the ARC. Based upon terrain, area and runoff capacity of drain ditches, a larger than minimum culvert(s) may be required at the discretion of the ARC.

2. Each property owner is required to install galvanized metal pipe apron ends, banded to match the culvert pipe end.



3. Erosion protection requires the placement of 6" to 12" diameter washed rock riprap to cover the pipe apron. The washed rock must match the community-approved standards. Improved driveway entrances four feet or less may be constructed as to enhance the property and comply with the specified and approved building materials for fencing and driveways. Please contact the ARC for specifications and approval.

4. Before construction commences, a 3" minimum temporary rock base of 1½" to 2" cinders shall be laid from the road edge into the property a minimum distance of 30'. This is intended to provide a transition zone for erosion control and to minimize mud accumulation on the community roads.

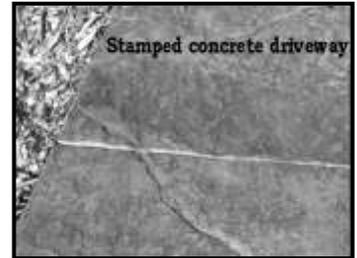


2.7 Paving Materials

To complement the community theme, naturalized, integral color concrete for the sidewalks and driveways is recommended. In addition, the following paving materials may be permitted:

Concrete preferably earth tone-colored concrete with washed, acid etched, sandblasted or broom finish

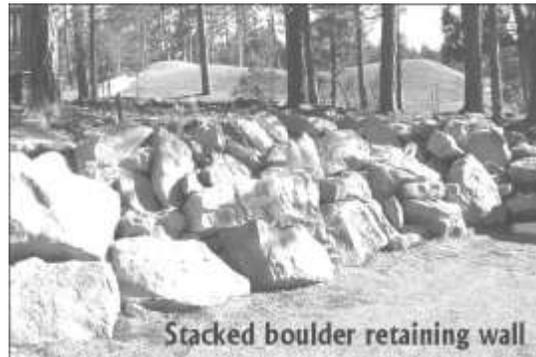
- Quarry tile or paving brick tile in earth tones
- Cobblestone - textured or stamped concrete
- Exposed aggregate (pea gravel in concrete)
- Large, rough-textured, pre-cast, integrally-colored pavers
- Stone or flagstone, earth tone gravel.
- Interlocking pavers in earth tones
- Asphalt with chip seal to match community paving.



- Asphalt and gravel driveways shall be edge with some type of containment edging.

2.8 Retaining Structures

Retaining structures should be designed to complement the home design.

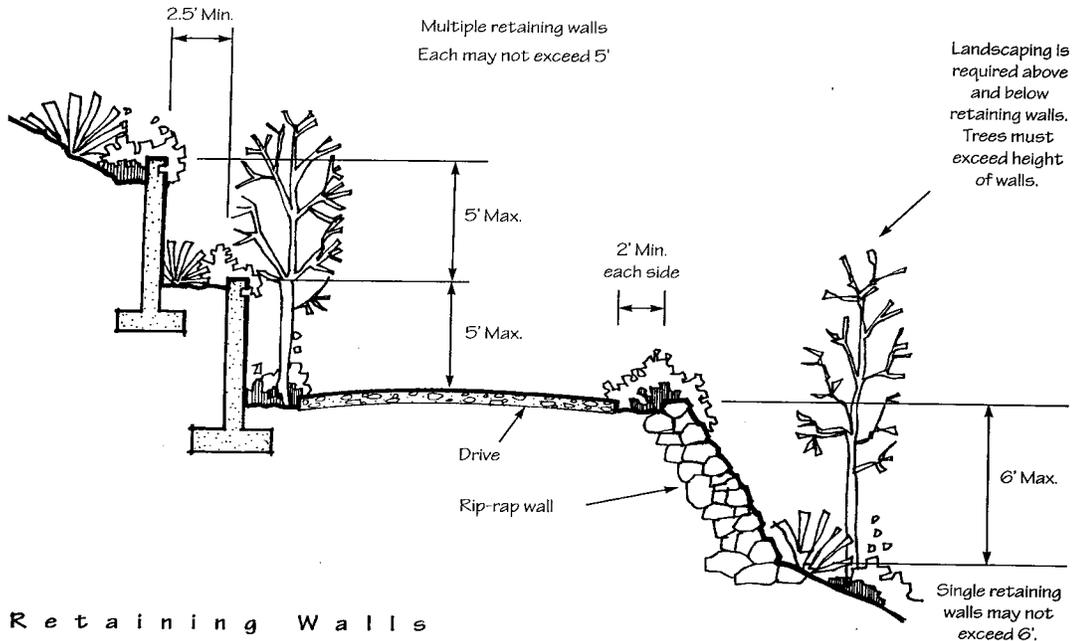


Where a retaining wall is necessary, a solid, battered, natural rock wall can be installed.

The following materials may also be permitted for retaining walls:

- Natural or treated wood
- Textured reinforced concrete, painted in earth tones
- Stone-faced concrete or masonry

Please reference diagram below:



2.9 Fences, Pet Enclosures and Propane Tank Screening

Any fences erected on the property shall be constructed in a manner and fashion consistent with the character of the surrounding area. The fencing shall be installed in a neat and professional manner using new materials. All fencing shall be constructed of the following materials: galvanized pipe rail, pressure-treated doweled rail, high-tension wire strands, wood rail of standard 2" x 6" minimum rails, vertical wood slat privacy style, high-tension strands with V-mesh or square mesh wire, stone or masonry walls up to three feet in height, and pressure treated fence post with field fence. Brown colored PVC-formed fencing. Barbed and/or barbless wire fencing using "T" post construction will be allowed only in natively treed, less visible, areas of the property or on those lots whose boundaries abut Forest Service land and are necessary due to cattle grazing. The finished height of any fence shall not exceed six (6) feet if erected within 50 feet of the property line, not more than eight (8) feet otherwise. Any fence erected on the front of any lot must be set back at least forty (40) feet from the front property line if it is six (6) feet in height. A three (3) foot decorative wall/fence in front of

the property that compliments the property within the setbacks will need ARC approval.

Gates or entrances to the driveway must be of compatible with the front fencing in design, material, height and color.

Above ground Propane tanks must be screened on three sides including the street and both neighboring sides. Interior property where visibility is 360 degrees, all sides must be screened. Appropriate screening consists of shrubbery, 1 ¼" lattice or brown colored PVC formed opaque solid fencing, or an enclosure of lattice or solid fencing of a brown or natural earth tone color to blend with the landscaping.

2.10 Pools, Spas and Water Features

Pools and spas should be designed so that they do not impact adjacent neighbors with light or sound. Pool heaters and pumps must be screened from view and sound insulated from neighboring homes and streets and constructed with material compatible with the home. A low noise filtering pump shall be installed in order to prevent noise nuisance. All water features must be equipped with an emergency shut off valve and a plot map of their locations on file with the ARC.

- Only in-ground pools are permitted
- Pool location and design shall conform with local and state building code requirements. (Plans and site location must be submitted and approved by ARC before construction begins.)
- Spas may be deck-mounted.

2.11 Utility Lines and Meters

It is recommended all individual utility meters, boxes and/or irrigation timer control boxes are to be screened from view of adjacent properties and the street. Designing such utility meters integrally with the architecture is encouraged.

All utility lines, storage tanks (other than propane tanks) of any nature shall be installed underground in accordance with local county codes at the time of installation.

Should any septic system require a mound, it shall be installed in conformance per the attached guidelines for Septic Mound Layout and Landscape Screening

Maximum satellite dish diameter is 1 meter (39.37 inches). All antennas shall be mounted as inconspicuously as possible on the side or rear of the home. No mechanical equipment is permitted on the roof.

2.12 Trash Enclosures and Outdoor Storage

Any outdoor storage area housing maintenance equipment or other items, the exterior siding should be constructed of the same or similar material used on the main residence. These structures shall not be in front of the home. No exterior clothesline equipment shall be permitted on any said lots. All rubbish, trash or garbage shall be kept in airtight containers and not allowed to accumulate on any of said lots. Propane tanks, woodpiles, service yards, and said rubbish, trash, or garbage containers shall be kept screened by adequate planting, or screened enclosure, so as to conceal them from view of streets and of neighboring parcels or any other recreation areas. Incineration of rubbish, trash, garbage, or vegetation shall not be permitted.

In addition, no piece of property shall be used as storage for any type of business material, vehicles or any non-operable vehicle, construction or any type of building or miscellaneous material that is visible from the street or any neighboring property.

2.13 Homesite Identification and Signage

Addresses for all residences will be at least 4" in height and will be in front of and affixed to the structure itself, per fire department specifications. All numbers will be clearly visible from the street.

A standard form for construction, real estate and political signs, as well as a standard placement for such signs, has been established by the ARC.

Only one (1) For Sale sign, Builder's Sign, or a For Sale/Builder combination sign per lot shall be permitted with the following provisions:

- Signs shall be placed on the center of the lot where driveway ingress/egress is expected to the lot.
- Signs shall be of a uniform size, style, color and height or as dictated by the ARC
- The sign shall be removed 10 days after the listing expires or 10 days after occupancy.

All signs used will comply with the following standard:

One political sign may only be displayed for forty-five (45) days before an election and seven (7) days after an election and the size is restricted to 18" x 24".

No additional signage of any kind will be permitted, except directional signs provided by the developer.

2.13.1 Home Identification – Open Houses

The A-1 Ranch Community Association and the ARC support the use of an Open House as a marketing tool when the Open House is scheduled in advance and noticed to prospective Open House visitors.

1. Open House by an Individual Owner(s)

An individual owner, without notice to the ARC, may have one Open House sign at the point where the driveway enters the street. This sign is restricted to 18" x 24" and no higher than 18".

Additional Open House directional signs may be placed at the gate entrance. Any sign placed in rights of way, on neighboring lots or common areas are not permitted and the owner/realtor will be asked to remove them immediately. If the owner/realtor fails or refuses to remove the sign, the owner may be subject to further sanctions as determined by the A-1 Ranch CC&Rs.

2. Open House by Builder or Realtor

A Realtor or Builder may conduct an Open House during limited times.

In addition to the driveway sign, one sign may be placed at the gate entry. In the event of multiple Open Houses being held simultaneously by one Broker or different Brokers, only one Open House sign may be placed at the gate entry. This second sign must also comply with the A-1 Ranch Guidelines.

3. Open House Hours:

Open Houses may be held between the hours of (10:00) am and 5:00pm. All Open House signs must be removed no later than 5:30pm on the day of the Open House.

2.14 Multiple Custom Home site Purchases

The ARC, as needed, will design a new developable area for multiple custom lot purchases. If a single structure is to be built across the internal property lines of multiple sites, then the internal line(s) must be eliminated, as will the PUE and drainage easement, if feasible. This will require preparation of a Tentative Parcel Map, which must be approved by the ARC and the Coconino County. This document records the properties as a single parcel. When approving a new Tentative Parcel Map, the County and the ARC reserve the right to add new conditions or restrictions to the subject parcels.

Each home site, regardless of whether it was part of a multiple site purchase, shall be treated individually under the governing documents for the project. The payment of appropriate assessments will be based on the number of original (pre-combination) home sites in the purchase.

2.15 Landscape Design

Landscaping is considered an integral part of the exterior appearance of the home and A-1 development. The use of native and drought-resistant plants and the use of a designer experienced in designing for the mountain elevation and climate is highly recommended. Using landscaping, backfill and grading, to soften the transition between the home and the site, control erosion and heal construction scars is required.

If during construction any trees that are damaged will be treated as necessary to protect other trees in the surrounding area from disease. The landscape designer, owner or builder, must take care to prevent the spread of bark beetles.

It is anticipated that the landscape design will present a native plant theme and avoid large lawns or large gravel areas that do not appear natural. The landscape design shall include only trees and shrubs that are indigenous to a mountain setting.

All automatic valves shall be installed in below grade boxes. Backflow control devices should be screened from view with plantings.

No removal of significant live vegetation shall begin until the final plans have been approved. Slash pile burning and controlled burns will be allowed, according to county rules, regulations and proper permits.

All developed and undeveloped lots must maintain a 5' mowed swath along the street. With this community area located in the high desert terrain, the lack of moisture combined with tall grasses and an inadvertently tossed cigarette could equal fire danger. It is recommended that all property be thinned and cleared of dead and down branches, tall grasses that could represent a fire hazard and ultimately threaten all of A-1 properties.

A minimal amount of landscaping work may take place outside the developable area. Landscaping should be confined to re-vegetation of construction scars, drainage, site cleanup and enhancement of the property

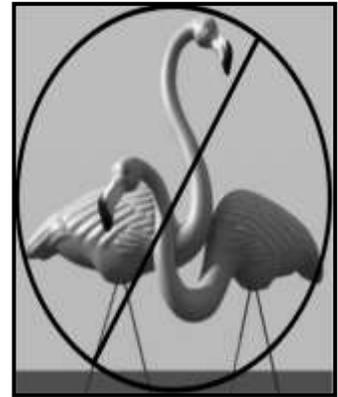
Any planting of trees, tall shrubs or building of berms in the setbacks for **screening** purpose, must be approved by the ARC. Flowerbeds and low shrubs in the setbacks will not be considered **screening**. Trees to enhance the property may be planted no less than twenty feet apart within in the setbacks. Otherwise, ARC approval is needed.

Vegetable gardens shall be located in the rear yard or on the side of the residence, but no farther forward than half the width of the

residence. Attention to drainage, odor, fertilizer, pesticides, additives and compost bins will not adversely affect adjacent property. Screening of the garden may be required depending on the garden's size and visibility. Consideration for the neighboring property and neighbors must be considered when locating the garden.

2.16 Ornamentation

Placing, erecting, constructing or allowing any permanent, dominating unnatural or man-made ornaments, signs, statuary, pink flamingos or other man made animal images, relics, machinery and equipment, or other such items on the property or attached/unattached to approved structures are not permitted.



Unless the same are included and made a part of a landscape plan depicting the ornaments size and purposed location, is submitted to and authorized by the ARC. "Unnatural" shall mean anything not naturally growing upon, or indigenous, to a home site in its undeveloped state.

Any ornaments or statuary item described above which is to be attached to or intended to be part of an approved structure or deck shall first be submitted to the ARC for approval.

2.17 Recreations and Play Equipment

When locating recreational equipment, consider neighbors with respect to both sight and sound. Except for basketball backboards, placement must be in the rear yard areas and at least thirty (30) feet from property lines and screening should be considered. Choose a location where its use least interferes with a neighbor's right to enjoy their property's landscaping and privacy.

1. Permanent basketball backboards may be free standing or attached to the side of the house. In no case should a fixed backboard be farther forward to the front of the house than half of the width of the house. Maintain the backboard in its production colors for the best appearance. A subdued color of

the pole and backboard is recommended in order to blend with the surrounding area.

2. Rolling backboards may be used forward of the house. However, they must be returned to a proper location when not in use.
3. All play equipment must be maintained in a good state of repair. Deteriorating equipment is not only an eye sore but a safety hazard.

2.18 Flags and Flagpoles

There shall be no more than one American flag displayed at any time on one property. Additional flags will be limited to the Arizona State Flag, American Military Service Flag, one representing a collegiate or professional sport, and will be permitted only during the specific sporting event.

Exceptions will be made for the celebrations of Holidays such as the Fourth of July, Memorial Day, Veterans Day, Presidents Day, etc., where multiply American flags may be displayed, for no more than the week of the Holiday.

No large/grand flags or any that is torn, soiled or damaged shall be displayed.

Flagpoles must be of a design, size, color, and location appropriate for the property and background. Permanent free standing flagpoles must be installed and maintained in a vertical position and shall not exceed the height of the house, however approval of the ARC will be required. Temporary flagstaffs, not exceeding six feet in length, which are inclined and attached to the house do not require approval.

3.0 Home Design

It is most important that the homes in A-1 Ranch be custom designed to fit the existing terrain. As you consider the various placements of your home on the site, be aware of the concept of the developable area (see Section 2.2). The developable area indicates the volume of space that can be utilized for your home, its drives, cuts and fills, landscaping, etc. Site grading should be kept to a

minimum to preserve the natural beauty of A-1 Ranch. Home designs that in the ARC's opinion do not represent the theme of A-1 Mountain's Philosophy and the Architectural Design Guidelines will be rejected.

3.1 Preservation of Views

A-1 Ranch is set in a beautiful natural environment with differing vistas from all parts of the development. When planning your home, care should be taken both to screen and filter the views of your home and to preserve the views of your neighbors.

3.2 Building Massing

1. Building mass shall be varied with the second story architectural elements stepped back a minimum of 5' from the lower façade on the front elevation.
2. Care must be taken to minimize the overall height of the building. The height of such dwelling may not exceed thirty-five (35) feet and the ground floor of any two-story dwelling must cover a minimum of 1,400 square feet.
3. Step all foundations and rooflines to follow the natural terrain
4. Stem walls and foundations of split face block shall not exceed 32" in exposed height.
5. The use of stone or stone veneer is preferred to integrate the building foundation with the natural terrain
6. Show foundation vents on all elevations
7. Group roof vents as inconspicuously as possible
8. Visible foundation vents will be painted to match foundation material.



3.3 Building Facades

The use of traditional architectural elements is encouraged. Careful placement and treatment of accent windows, for example, help create scale and character. In addition, exterior elements such as columns and walls should be carefully integrated into the design. Large masses should be broken up to articulate several volumes to reduce the impact of scale. The use of porches, entry treatments and shadow from openings or projections provide

relief and rhythm to large surfaces, enhancing visual interest and scale.

Facades (particularly the front elevation) should be varied in placement, size and material to avoid visual monotony and to create interest and human scale. Horizontal breaks in a plan must provide articulation to elevations. The maximum unbroken length of a wall shall not exceed 25' on the front elevation horizontally or 24' vertically. Any offsets, or jogs, must be a minimum of 2'.

Entry treatment, porches and motor courts should be carefully incorporated to encourage street level activity. The weather-protecting qualities of porches and covered entries are an important element of the intended style.

Architectural articulation of facades and roof planes should be accomplished through the introduction of sub-elements such as projections, dormers, roof ridge jogs, roof overhangs, building face trims, recessed doorways, bay windows or porches.

If your home has more than one story, create a pedestrian scale and vertical transition in the front elevation by stepping back the second story and providing a roof or sub-element at the top of the first floor level. This eliminates a continuous two story vertical facade and creates opportunities for covered entries and porches.

No repetition or near repetition of the exterior of any approved residence in A-1 Ranch is permitted.

3.4 Roof Shapes

A roof plan shall be submitted for review. All roof penetrations, slopes and materials must be shown on all elevations. Vents must be minimized and located inconspicuously. Vents must be painted to blend with the roof material.

Steep gabled roofs are permitted to help reduce the scale of the home, but must be well proportioned and will be closely reviewed. The predominant roof form should be hip or gable.

Roofs will have a minimum slope of 5' in 12', maximum slope of 12' in 12' and all roof eaves shall be enclosed using non-

combustible materials. Roof overhangs are to be a minimum of 24" from the face of the exterior sheathing to the backside of the sub-fascia, in the horizontal plane. A double stacked fascia is required. The sub-fascia should be a minimum of 2" x 12" with a proportionately sized trim fascia.

Mechanical equipment, antennas, etc. are not permitted on roofs (see Section 2.11).

3.5 Accessory Structures

All accessory structures shall be designed to complement the main residence, and constructed with new material similar to the residence. Metal or modular type of structure are authorized as long the exterior siding and roof design and material are the same as the residence.

3.5.1 Decks and Patio Covers

Decks and patio covers shall be constructed of a non-combustible limited flame spreading material, and shall be constructed with 8' or larger structural beams or peeled logs. Patio covers will be constructed using heavy timber or non-combustible materials.(no light weight , easily ignited materials). The materials shall be compatible with the home. Unnatural deck and/or railing materials must be reviewed/approved by the ARC. Storage will not be allowed under decks.

3.5.2 Canvas and Metal Awnings

Canvas and metal awnings are not permitted. The rollup, security type awnings will be reviewed by the ARC on an individual basis. These security shields must be consistent in appearance with the siding on the exterior of the residence.

3.5.3 Patio Structures, Sun Shades and Gazebos

Patio structures, sun shades and gazebos may be permitted if the design is compatible with the residence, if the structure is within the developable

area, and if the construction does not disturb the natural terrain. Outbuildings may not exceed twenty (20) feet in height. No galvanized steel, press board, masonite, T-111 type plywood, corrugated or aluminum corrugated panels may be used for exterior construction of any type.

3.5.4 Balconies

Balconies are permitted.

3.5.5 Guest Homes

Guest Homes may be permitted provided the guest home is designed to visually harmonize with the main home in color, material and style and, if detached, be visually related by a common breezeway, common walls, courtyards or landscape features. Any guest home must be built within the developable area. Guest home construction must be completed simultaneously or after the primary residence is constructed.

3.6 Building Materials

A wide variety of building materials is appropriate for quality residential construction. Combinations of materials should be new and chosen to be aesthetically compatible. Building materials should complement the natural climatic and built environment of A-1 Ranch. Contrasting materials can be selectively used to create building accents or to focus quality and elegance in entry areas. Materials other than those listed may be permitted on a case-by-case basis if, in the judgment of the ARC, the material appears compatible with the character of the A-1 Ranch community.

3.7 Exterior Wall Surfaces

The objective should be to create walls that are interesting, but not in competition with their surroundings. Walls can be surfaced with one up to three different materials. Continuity of



materials and colors is required for the entire developable area.

Exterior surfaces of the main residence and any guest house, garages or storage buildings shall be of non-combustible limited flame spread material, with the exception of log homes. The exterior surfaces should be of natural/natural appearing materials, which are indicative of a rural environment. The following exterior wall materials are recommended:

- Brick in earth tones used as accents
- Hardy Plank - Cement Siding
- Indigenous stone (see Section 3.8)
- Real logs must be proportionate to the size of the home. Minimum 8" diameter required, either round, sawn or hewn.
- Split face block shall not exceed 32" in height on any exterior wall
- Artificial stone (not to exceed 25% of any exterior wall) will be reviewed on an individual basis
- Screen, typically used to enclose a porch, is not encouraged; however, it will be reviewed on an individual basis. Minimum requirements are framing made of natural materials and the screen fabric must be as translucent as possible.

Exterior cover material used on walls shall be continuous and consistent on all elevations of a residence in order to achieve a uniform and complete architectural design statement.

The following materials are not permitted:

- Plywood (T1.11 or similar)
- Hardboard siding
- Mica plaster, stucco or other material of similar appearance
- Exposed plain concrete block
- Corrugated metal or aluminum siding
- Vinyl siding
- Standard precision block
- Gloss-glazed ceramic tile

Colors: Paints, stains shall be complementary earth tone colors. Clear or natural stains on wood that result in a yellowish color are not permitted. Reflective colors are not permitted. Contrasting materials, textures and colors may be used to add emphasis to

entry areas and significant architectural features, but must relate to the architectural form and character of the home. No bright or garish colors may be used. (White fascia and trim is not recommended)

A paint scheme shall be submitted to the ARC for approval prior to painting.

3.8 Stone Patterns

If flagstone is used it must be laid horizontally in an uncoursed ledge rock pattern. Vertically applied flagstone veneer is not permitted.

3.9 Roofing Materials

All roofing for the main residence, guest house and any outbuildings shall be a class-A roof as defined by the Uniform Building Code and shall be of non-combustible limited flame material. Roofs will have a finished surface that will not produce glare or have reflective qualities.

The following roofing materials are recommended:

- Flat concrete simulated shakes
- Slate
- Artificial slate
- Copper, allowed to patina naturally
- Non-reflective, earth-tone colored standing-seam metal with concealed fasteners
- Natural color architectural asphalt shingles



The following roofing materials are not permitted:

- Wood shakes or shingles
- Composition shingles
- Corrugated metal
- Metal, simulated shake shingles

- White or bright rock
- 90# roll roofing
- Mastic coated, pattern stamped sheet metal
- Barrel tiles - clay or concrete
- Spray urethane foam
- Glossy or reflective materials
- Cap sheet
- Gravel
- Clay Tile

3.9.1 Roof Colors

Roofs shall have earth tone colors complementary to the surrounding natural landscape and in harmony with the terrain. Skylight frames shall be colored to match the surrounding roofing color. A minimum of three complementary roof colors are recommended to be randomly integrated into each planning area to emphasize diversity and individual homes rather than use of a single repetitive color.

3.9.2 Gutters and Downspouts

Gutters and downspouts must be concealed unless designed as a continuous architectural feature. Exposed gutters used as an architectural feature are to be colored to match roof trim or wall material unless copper is used. Exposed downspouts must be colored to match the home's trim or the surface to which they are attached unless copper is used. Gutters and downspouts are to be shown on all elevation drawings.

3.9.3 Flashing and Sheet Metal

All flashing and sheet metal must be colored to match the material to which it is attached unless copper is used.

3.9.4 Vents

Vents, stacks and pipes must be colored to match the roof or wall material from which they project. Every effort should be made to minimize their visibility from the street and to group them so as to minimize roof penetrations.

3.9.5 Chimneys

Chimneys are to be faced with the same materials and textures as used on the home to ensure a consistency in character and style. Prefabricated chimney caps must be screened from view via metal shroud painted to match the chimney material. Exposed metal chimneys are not permitted. All residences must have sprinkler systems installed in compliance with NFPA standards.



3.9.6 Skylights

Skylights are to be designed as an integral part of the roof. Skylight glazing must be clear, solar bronze or gray. White or reflective glazing is not permitted. Skylight framing material must be bronze anodized or colored to match adjacent roof. Natural aluminum is not permitted.

3.10 Windows, Doors and Garages

Detailed door, window and wall openings are characteristic residential elements of the rural style intended for A-1 Ranch. Design treatments and architectural features such as porches, small roofs, overhangs, dormer type windows and projections to recess windows and doors are encouraged. Window and door details should support architectural details.

The use of many different styles of windows on one facade should be avoided. The use of mirrored or highly reflective glass is not permitted.

3.10.1 Exterior Glass and Glazing

The following glass and glazing materials are recommended:

- Clear with colored metal, vinyl, vinyl clad or wood frames.
- White window frames are not recommended.

The following glass and glazing materials are not permitted:

- Mirrored glass.
- Non-anodized or clear anodized aluminum frames.
- Glass blocked on the front elevations are not permitted.

3.10.2 Garages

Carports are not permitted.

All garages must have garage doors. All garage doors are to remain closed unless the garage is actively being used. Since the garage

is a major element in most homes, garage doors should be fully integrated into the design of the architecture. Garage doors are permitted to face the street, with authorization from the ARC, (included on the original home plans) but a side or rear entry garage is preferred. Garage doors should be

appropriately treated with decorative relief cuts or panels. Unpainted or unstained plywood or fiberglass is not permitted. Single garage doors shall not be larger than 10' wide and 14' high. Double garage doors shall not be wider than 18' or taller than 14' and will only be permitted if they are not visible from the street and are screened from neighboring properties by mature vegetation. Variances due to special needs will be reviewed by the ARC Committee on a case-by-case basis.



3.11 Exterior Lighting



The design philosophy of A-1 Ranch extends to the preservation of the natural forest setting within the community at night as well as the daytime. The objective is to allow for the minimum lighting necessary to provide for safety, security and the enjoyment of the

outdoors, while not competing or interfering with the dramatic nighttime panorama or the natural darkness of the forest against the spectacular sky. For additional information on preserving our dark skies, please contact the Tucson-based International Dark-Sky Association at www.darksky.org or (520) 293-3198. This website has a tremendous amount of information including fixtures from over 90 manufacturers.

In general, large and bright lighting themes more consistent with metropolitan residential areas will be avoided. Distinction and differentiation can be creatively accomplished with small, intimate and understated lighting themes more consistent with the forest setting.

3.11.1 Wall-mounted Exterior Lights



Exterior lighting attached to

the residence shall have a hidden light source with the light directed downward only and shall contain a 40-watt or less bulb so as to minimize glare to neighboring residences and structures or common areas.

3.11.2 Recessed Canister Exterior Lights

Overhead lighting will be considered in flat or vaulted areas over decks and entries where it can be demonstrated the lighting is necessary for safety. The lighting source shall not be visible from neighboring

residences and structures or common areas. The use of amber bulbs is highly recommended.

3.11.3 Ceiling-mounted Exterior Lights

Any outdoor ceiling fan lights must have a hidden light source with the light directed downward only.

Suggested forms of deck and entry lighting in addition to wall-mounted fixtures that have a hidden light source with the light directed downward only, would be coffered lighting around the perimeter of deck or entry ceiling areas.

“Dropped” lighting to a height of 5’ to 7’ above the deck, consisting of a hidden light source with the light directed downward only, over outdoor deck dining or sitting areas is a suggested alternative to visible recessed can lights.

3.11.4 Deck Rail and/or Post-mounted Exterior Lights

Any light fixture placed on railing posts around the perimeter of the deck or on steps must have a hidden light source with the light directed downward only. Low voltage lighting placed at a maximum height of 18” to 24” or fixtures placed on top of railing posts are options available that help to preserve the natural forest setting.

3.11.5 Christmas lights

Celebrating the Christmas season with outdoor lights is permitted. The exterior Christmas decorations should not be installed prior to Thanksgiving week and remove no later than the end of January. Outdoor Christmas music is permitted but must be kept at a reasonable volume as not to disturb the neighbor and shall not be played after 10 PM.

Additional holiday decorations are permitted. They can be installed no more than three weeks prior to the holiday and removed three weeks after. Holiday lighting and music is also permitted in a festive manner but not intrusive to the neighbors. All music shall not be played after 10 PM.

4.0 Architectural Design Review

Submittal of plans and specifications for the construction or installation of any and all improvements to custom home sites and for the construction or installation of all improvements subsequent to occupancy is to be made to the ARC at one of the following addresses:

For information being sent via the United States Postal Service:

A-1 Ranch Architectural Review Committee
323 S River Run Road, Suite 1
Flagstaff, AZ 86001

For information being sent via other shippers such as Federal Express or United Parcel Service:

A-1 Ranch Architectural Review Committee
323 S River Run Road, Suite 1
Flagstaff, AZ 86001

While they are unable to accept building plans through these methods, the ARC can be reached by telephone at (928) 773-0690 and email at katy@sterlingrem.com

The ARC shall only review, authorize and/or prohibit submitted plans and specifications as to style, exterior design appearance, location and compliance with the provisions set forth in these guidelines and requirements included within the CC&Rs.

The ARC shall not be responsible for reviewing and/or authorizing any improvement plans and specifications for engineering design, structural engineering and safety, or for compliance with applicable zoning, building, or other city, state, or federal laws, ordinances, or policies.

Authorization of any proposed or existing improvement by the ARC shall not be construed to warrant or represent, in any manner that the

improvement was approved by or complies with the appropriate standards of any public agency that has jurisdiction over such improvement. Similarly, approval of any proposed or existing improvement by any public agency having jurisdiction over the improvement shall not constitute approval by the ARC.

If construction does not commence on a project for which plans have been authorized within one year of such authorization, such authorization shall be deemed withdrawn and it shall be necessary for the owner to resubmit the plans to the ARC for reconsideration. If construction is not completed on a project for which plans have been authorized within eighteen months (1 1/2 years) of the start of construction, such approval may, in the sole discretion of the ARC, be deemed withdrawn, and such incomplete construction shall then be deemed in violation of the CC&Rs.

By way of illustration, but without limitation, submissions to the ARC for authorization are required for the following improvements:

1. New construction or installation including dwellings, drives, accessory buildings, garages, fences, patio overheads or decks, gazebos, sundecks, wind screens, swimming pools, water features and/or fountains, and solar/wind energy systems.
2. Painting of an existing structure when the color is being changed from the existing approved color.

4.1 Architectural Design Procedures

Step 1 is a concept meeting to be held at the beginning of the design process. The owner, builder and architect will meet with the ARC to discuss the design process, building footprint criteria and to clarify any questions related to the review process.

Step 2 is the submission of two (2) sets of working drawings as well as color samples of all building materials.

Step 3 involves a survey that shows staked foundations and improvements, including a string outline of the lot, building footprint, setbacks, driveway and driveway access.

Step 4 occurs throughout construction and requires confirmation and verification that the building and site materials ordered comply with the approved plans.

Step 5 is the final review to ascertain that all specifications in the CC&R's and the original submitted plans have been met.

4.2 Architectural Review Process

When the ARC has determined that all requirements for Step 2 have been met, the committee must, within 40 calendar days; meet and either approve or disapprove the proposed improvements. For **large** custom home properties, the committee must also notify adjoining lot owners, as a minimum, and any other lot owners the committee determines may be impacted by the submittal. Those notified have 14 days from the date of such mailing to respond to the committee and review the submittal. The ARC will provide written notice to the owner. Failure by the ARC to respond to the owner within 40 days authorizes the owner to request in writing, formal notification of the status of his submittal to the Board of Directors. The board of Directors will have a period of ten (10) days to respond to the owner.

Should the ARC not authorize a submittal, the owner has the right to appeal the decision to the committee, in writing, for reconsideration at the next scheduled meeting or finally, to the Board of Directors, once again in writing, for a final decision at the next regular meeting or special meeting called for the purpose of considering the appeal, whichever is the more timely.

Upon receiving approval by the ARC, the working drawings and plans shall then be submitted to Coconino County for approval and issuance of grading and building permits. If the County issues a denial of the plans, then the plans will be resubmitted to the ARC after the non-conforming issues have been remedied.

After the County issues permits, the owner must provide to the ARC:

1. A copy of all building and/or grading permits
2. Builder's name, Registrar of Contractors license number and daytime telephone number(s)
3. Emergency contact information for the builder and owner.

4.3 Fee and Compliance Deposit

The Design Review/Inspection fee is \$1,500. This fee is to be paid with the submission of working drawings and is non-refundable. The ARC reserves the right to require an additional design review fee if plans are not corrected to meet the Guidelines within a reasonable number of submittals.

To assure compliance with these guidelines, including Section 5.0, Construction Regulations, and that structures, landscaping and other improvements are built in complete conformance with approved plans, the ARC requires two construction compliance deposits: (1) a security deposit in the amount of \$8,000 as an assurance that the building construction will be performed in accordance with the approved set of plans, and (2) an enforcement deposit in the amount of \$2,000 to insure that the onsite construction complies with the general rules and regulations of the Association. On owner as builder projects, the two (2) deposits are reduced to \$3,500 and \$1,500 respectively. These deposits must accompany the written request for stake and string inspection and will be held by the ARC until the residence has passed final inspection by the ARC as described below.

Pursuant to ARS Section 33-1817, the security deposit shall be held in a trust account and the cost to establish the trust account shall be equally shared between the Association and Owner. Any interest earned on the refundable security deposit shall become part of the security deposit. If the construction project is abandoned, the Board of Directors may determine the appropriate use of any deposit monies.

4.4 Design Review Requirements

4.4.1 Step 1: Preliminary Meeting

A preliminary meeting will be held between the owner, builder, architect and the ARC prior to completion of the architect's design package. This meeting is intended to be an informal session where the architect can present the preliminary conceptual design to the ARC, who will then determine if the architect is meeting the

intent of these Design Guidelines. The owner or his representative should contact the ARC to set up this initial meeting. Please call (928) 776-0690 or email katy@sterlingrem.com to schedule this preliminary meeting.

All drawings may be on tracing paper. Conceptual plans may be rough sketches and should include the following:

- Site or plot map
- Building footprint criteria
- Approximate finish grades, floor elevations and existing natural grades
- Rough-sketch of building plan
- Sketch of exterior elevation(s) showing maximum height related to existing natural grades.

4.4.2 Step 2: Working Drawings

This submittal shall include the following:

- A fully completed Submittal Form and application review and inspection fees of \$1,500.
- Two (2) sets of the complete working drawings. These drawings must be clear, accurate and professionally prepared
- Color and material sample folder - The type of material and color of each building material listed on the Submittal Form must be identified with a manufacturer's name and list number. Color photos and/or catalog cutouts are required. The ARC may, at their discretion, request that an actual sample be submitted for review. A color rendering is recommended.

4.4.2.1 Topographical Survey

- topographical map/plot plan showing lot lines, setbacks, existing trees and rock outcropping(s)

- Building footprint, setback dimensions and clearance for construction
- Meandering drive, including slopes and material
- Guest parking location
- All buildings, structures

4.4.2.2 Landscape Plan

- Landscaping is normally a continual process and shall comply with the landscape standards set forth in these Design Guidelines.

4.4.2.3 Other Required Documents

Additional documents may be required as deemed necessary by the ARC to clarify issues.

4.4.3 Step 3: Stake and String

After Coconino County issues a building permit, the property can be staked and strung. When the field layout is ready, a written request for inspection must be submitted to the ARC. A copy of the building permit, the required construction compliance deposits (security and enforcement deposit) and signed Owner and Builder Compliance Agreement forms are required along with the request for the stake and string inspection. The Builder Acknowledgement form declares the builder has received a copy of the A-1 Ranch Construction Regulations and Standardized Fine Schedule. Verbal requests for a field layout inspection will not be accepted. The Owner shall be provided the opportunity to be present at the inspection.

Within five (5) working days of the inspection, the ARC will provide written notification of approval or disapproval of the field layout. If the inspection is disapproved, the notice shall specify the reasons for disapproval such as possible deficiencies, violations or unapproved variations from the approved plans, as amended.

If, for any reason, the ARC is required to re-inspect the field layout, the Owner will be responsible for the actual cost incurred to perform any additional inspection(s).

Lot and setback lines are to remain strung until construction is completed.

No clearing, grading or excavation shall begin without written ARC approval.

4.4.3 Step 4: Construction Material Verification

Throughout the course of construction, the builder/contractor/owner shall provide the Association with confirmation and verification, in writing, that the architectural materials, including but not limited to the exterior façade surface, patio posts, driveway pavers, paint colors, roof treatment, exterior lighting, etc, ordered for installation are in compliance with the approved plans for construction. The written verification of compliance shall be submitted prior to installation on the residence. Any changes from the originally approved materials or plans shall be submitted for the Architectural Committee's review and approval.

4.4.5 Step 5: Final Inspection

After completion of all improvements, and prior to the issuance of a certificate of occupancy from Coconino County, the owner and/or builder shall submit a written final inspection request to the ARC indicating that all improvements, as specified are complete as noted in the approved plans and to the specifications of the ARC.

Upon receipt of the final inspection request, the ARC must inspect the improvements within twenty (20) working days. The Owner or Builder shall be provided the opportunity to be present at the inspection.

Within thirty (30) days after the final field inspection, the ARC will notify the owner, in writing, that the final inspection has passed or which items remain non-compliant with the approved plans and specifications (conditions of approval).

If, for any reason, the ARC is required to re-inspect the residence the Owner will be responsible for the actual cost incurred to perform any additional inspection(s).

If the final inspection passes, the Association shall promptly release the deposit monies to the Owner, including any interest earned on the initial deposit.

If the Association identifies deficiencies, violations or unapproved variations during the inspection, the Owner shall have one hundred eighty days to satisfy the conditions of approval. The Association shall hold the deposit until compliance is achieved. In the event the conditions of approval are not satisfied within 180 days, the Association shall have the right to release the deposit money from the trust account and transfer it to the Association's account.

PENALTIES FOR NON COMPLIANCE

A final inspection request is required prior to the issuance of a certificate of occupancy. If the final inspection request is not received within this time period, the owner(s) will be notified, in writing, of the violation and given thirty (30) days to request their final inspection.

If the final inspection request is not received within thirty (30) days, again the owner(s) will be notified, in writing, reiterating the violation and a \$300 fine will be imposed.

If a final inspection request is not received within an additional thirty (30) days, again the owner(s) will be notified, in writing, reiterating the violation and an additional fine of \$10 per day will be imposed until such time as the final inspection has passed.

Once the final inspection process has begun, the final inspection must pass within six (6) months or the fine schedule outlined above will be implemented.

5.0 Construction Regulations

To preserve the natural landscape of each home site and to minimize the nuisances inherent in any construction process, the following regulations will be enforced during the construction period of all improvements at A-1 Ranch. Any changes to the exterior of any home or site must be reviewed and authorized by the ARC prior to the change taking place.

The Summarized Construction Regulations must be posted at all construction sites at all times. A copy of these regulations is available to you from the A-1 Ranch Community Association. They are also included at the end of this document.

All construction must be performed in compliance with applicable laws of Coconino County and the State of Arizona. Owner as builder projects, for occupancy by owner, are permitted, with approved permit from the county.

Any violation of these regulations by an owner's agent, representative, builder, contractor or subcontractor shall be deemed a violation by the owner and may risk the forfeiture of the enforcement deposit or a portion of the enforcement deposit and/or the suspension of the building permit.

5.1 Construction Trailers

Construction trailers or temporary field offices may be used and are placed to avoid damage to the natural landscape. These structures must be removed from the site upon substantial completion of the residence and any damage to the natural landscape restored to its' natural condition

5.2 Trash Receptacles and Debris Removal

An approved trash receptacle must remain on the site at all times. At the end of each day contractors/builders will clean up all trash and debris.

Owners, builders and subcontractors are not permitted to dump, bury or burn trash and/or debris anywhere on the property.

Neighboring properties or common areas will not be used for access, storage or parking without express written consent of the property owner.

Heavy debris such as broken stone, wood scrap or the like, must be removed from the site immediately upon completion of the work of each trade that has generated the debris.

All concrete washed out from trucks or mixers must occur within the developable area of the property in a location where it will ultimately be concealed by the structure or covered by backfill.



Washout in the road right-of-way, setbacks, drainage ditches or on adjacent properties is strictly prohibited.

During the construction period, each construction site shall be kept neat and shall be properly policed to prevent it from becoming a public eyesore or from affecting other lots or any open space. Any clean-up costs incurred by the ARC or the Association in enforcing these requirements shall be payable by the owner. Dirt, mud or debris resulting from activity on each construction site shall be promptly removed from public or private roads, open spaces, driveways or other portions of A-1 Ranch.

5.3 Sanitary Facilities

Each owner or builder shall be responsible for providing adequate sanitary facilities for the construction workers. Portable toilets must be located within the developable area, centrally located, to prevent any unpleasant odors affecting the neighbors.

5.4 Construction Access

The approved access drive will be the only construction access to any property/unless prior approval is obtained from the adjoining property owner.

5.5 **Vehicles and Parking**

Construction crews will not park on, or otherwise use, undeveloped portions of sites or open space. Any damaged to these areas must be reclaimed to the nature condition. All vehicles shall be parked within the building site or on the street with courtesy to the neighbors. There will be no parking on neighboring property without written permission.

5.6 **Conservation of Native Landscape**

Prior to construction, major terrain features and sensitive trees and plants outside of the developable area must be protected to prevent damage. Any trees or branches removed during construction must be promptly cleaned up and removed from the construction site.

5.7 **Dust and Noise Control**

The contractor shall be responsible for controlling dust and noise *from the construction site, including the removal of dirt and mud* from public or private roads that is the result of construction activity on the site.

The playing of radios or use of other audio equipment by construction crews during the improvement of any property at A-1 Ranch, must be kept to a reasonable number of devices (not more than three) and volume so as to not disturb neighboring families.

5.8 **Material Deliveries**



All building materials, equipment and machinery required to construct a residence or commercial building on any property at A-1 Ranch must be delivered to and remain within the area of each site. This includes all building materials, earth-moving equipment, trailers, generators, mixers, cranes or any other equipment or

machinery that will remain at A-1 Ranch overnight.

5.9 Firearms, Alcohol and Pets

Carrying any type of firearms on the property is not permitted.

Alcohol is not permitted on any construction site.

Construction crew pets are not permitted on any construction site.

5.10 Daily Working Hours

Daily working hours for each construction site are 7:00am to 6:00pm. No blasting shall occur before 9:00am or on Sunday or any major holiday.

5.11 Smoking and Fire Extinguishers

All persons on the property must adhere to all A-1 Ranch smoking/fire regulations.

All cigarette butts will be disposed of in a non-flammable container in an attempt to prevent any grass fires.

Three (3) 10-pound ABC fire extinguishers must be conveniently and strategically located throughout the construction site. A minimum $\frac{5}{8}$ " diameter water hose connected to a minimum $\frac{3}{4}$ " diameter supply shall be ready for immediate use to any area of the construction site. The hose and water supply must be in place prior to use of any flame or welding and before the delivery of combustible material to the site.

5.12 Standardized Fine Schedule for Construction Violations

The A-1 Ranch Community Association Architectural Review Committee is responsible for monitoring the compliance of each builder with the A-1 Ranch Constructions Regulations and Guidelines. The following procedures will be in effect:

First infraction:	Written warning
Second infraction:	\$50 Fine without further notice to be deducted from the enforcement deposit

Third infraction: \$100 Additional fine without notice and Stop Work Order issued until all infractions are brought into compliance.

Each subsequent infraction of any of the construction regulations shall result in additional fines and immediate Stop Work Order.

In the event that the enforcement deposit falls below \$500, the relevant party will also be required to take their enforcement deposit back to the original \$2,000 before work can commence.

VIOLATIONS

- Using more than the authorized access to developable area
- Dumpster or portable toilet outside developable area
- Improper disposal of trash or building materials
- Mud, dirt, oil, concrete on road or adjacent property
- Speeding
- Parking on more than one side of street
- Overnight parking on street
- Playing radios Excessively loud or number
- Having pets on site
- Improper dress (shirts to be worn at all times)
- Smoking and/or burn barrels*
- Alcohol, drugs or firearms on property

Any damage to utilities, pavement or adjacent property shall be repaired at the sole cost of the owner/builder.

6.0 Architectural Design Guidelines Violations

After final inspection, any development or changes to the exterior of the home or any changes inside or outside the developable area must be reviewed and approved by the ARC before the change takes place.

Most homes require a certain amount of maintenance as the years go by and those in mountainous areas even more so due to the weather. Over time, colored concrete begins to fade and siding stain begins to look a bit washed out. These



types of maintenance issues are the responsibility of the owner(s) and fall under the purview of the ARC.

Any untidy-looking maintenance issues or any changes noted to the exterior of the residence without ARC approval will be subject to the following procedure:

Warning: The owner(s) will be notified, in writing, of the violation(s) and given thirty (30) days to correct the violation(s).

Fine imposed: If the cited violation(s) is not corrected within the stated time frame, a second letter will be sent to the owner(s) reiterating the violation(s) and a \$300 fine may be imposed for each uncorrected violation.

Further action: Failure to correct the cited violation(s) could result in further action as decided by the Board of Directors.

POSSIBLE VIOLATIONS*

- Driveway material does not adhere to the Guidelines
- Landscape and exterior home lighting installed contrary to the lighting and landscaping guidelines in the CC&R's.
- Utility boxes or meters are not painted to blend or screened from view
- Siding stain has faded over time and now appears washed out
- Yard ornamentation installed contrary to CC&R's
- New driveway material installed contrary to CC&R's
- Exterior and landscaped lighting not in conformance with CC&R's.
- Siding or roof color change without ARC approval.
- Sign(s) installed that does not meet the CC&R's specifications.
- Pet enclosure installed without ARC approval.

*This list is not all-inclusive. The ARC reserves the right to include other violations of the CC&R's that may arise over time.

Septic Mound Layout and Landscape Screening Guidelines

All Wisconsin Septic Systems are to be installed per manufacturer's recommendations. The following outlines specific HOA requirements for layout and landscape screening.

1.1 Location and Layout

(a.) **Layout.**

(1.) Mound absorption systems should be long and narrow and should follow the contour of the existing grade. The more restrictive the site, the narrower and longer the system should be. Mounds can be constructed on sites with slopes up to 25%.

(2.) Mounds should not be constructed in flood plains, drainage ways, or depressions unless flood protection is provided.

(3.) Another location consideration is maintaining horizontal separation distances from wells, surface waters, springs, dry washes, road cuts, buildings and property lines.

(b.) **Size.**

(1.) Mound size will be determinate on the manufacturer's requirements of daily wastewater volume. (For residential mounds, the daily wastewater volume is usually determined by the number of bedrooms in the house. Flows in Arizona for individual homes are up to 140 gallons per day (gpd) per bedroom. Mounds that are treating effluent with higher strength wastes have different criteria, possibly including pretreatment.)

(2.) Mounds are to have a side slope of no greater than 3:1.

(c.) **Shape.**

(1.) The actual shape of the mound may be changed somewhat to suit individual landscaping and site needs. Constructing a contoured mound works well for hillsides. Additional topsoil may be added to create a more 'naturalized' outline.

1.2 Landscaping

There are several things that can be done to help protect the mound and make it aesthetically appealing at the same time. The right vegetation cover helps limit erosion from the mound and make it more attractive.

- (a.) Do not plant trees, shrubs, or any plant with an extensive root system **ON** the mound. The roots will interfere and possibly destroy the distribution system. Also, avoid planting vegetables or herbs on the mound.

- (b.) The mound is to be outlined with shrubs and trees that meet the minimum quantity required. Plant quantity ratio is determined by the circumference (measured in Linear Feet, LF) of the outside of the mound that is visible from all adjacent roadways, houses, right-of-ways. All shrubs added must be planted in a 'natural' layout and may not be 'hedged'. All trees and shrubs must be at least 20 feet away from the outer circumference of the mound.

Quantity Calculations:

Small shrubs (2' wide or less at maturity): 3 per 10' LF (planted as 1 gallon)

Large shrubs (3'+ at maturity): 2 per 10' LF (planted as 5 gallon)

Trees: Not required, but may be added from list of approved trees. (Must be planted min. 20' from mound.)

- (c.) Additional soil is to be added to the mound and extended around 50% of the new planted shrubs and trees. This is to provide a 'natural' look, so the septic mound is not linear. The soil depth added is not to exceed 30" and is to be covered with HOA approved mulch or seeded with approved native seed mix.
- (d.) The top of the mound is to be planted with an approved native grass mixture. Cool season grasses and other plants may be planted on the sides of the mound.
- (e.) Use minimal tilling when planting and establish a cover as quickly as possible to limit erosion. The topsoil on the mound should be at least six inches, but no more than 30 inches deep.
- (f.) Erosion Prevention.
 - (1.) Do not irrigate or water the mound once you have vegetation on it.
 - (2.) To reduce the possibility of failure to the mound all surface water and roof drainage should be diverted around the mound.
 - (3.) Seed and mulch the entire exposed area to avoid erosion.

A-1 RANCH
ARCHITECTURAL REVIEW COMMITTEE

CONSTRUCTION REGULATIONS

(Summarized from Section 5, A-1 Ranch Architectural Design Guidelines)

1. ANY CHANGES to the exterior of any building or any construction site must be reviewed and approved by the ARC prior to the change(s) taking place.
2. All construction must be performed in compliance with applicable laws of Coconino County and the State of Arizona.
 - a. Owner as Builder projects are allowed.
 - b. Construction must be completed with eighteen months (1 ½ year) of the permit being issued.
 - c. A violation of these regulations by an owner's agent, representative, builder, contractor or subcontractor shall be deemed a violation by the owner.
 - d. Violations risk fines, penalties or forfeiture of the Construction Compliance Deposit and/or a Stop Work Order being issued.
3. Fire Protection
 - a. A minimum of three 10-pound ABC fire extinguishers shall be easily accessible on site at all times.
 - b. A minimum 5/8" diameter water hose connected to a minimum 3/4" diameter water supply shall be ready for immediate use to any area of the construction site when welding or combustible material is on site.
 - c. **Smoking is prohibited except inside a vehicle or in a designated smoke area with an ashtray.**
 - d. All persons must adhere to all A-1 Ranch fire regulations.
 - e. Use of burn barrels and/or warming fires is strictly prohibited.
4. Trash and Debris
 - a. An approved trash receptacle must be on site.
 - b. The receptacle must be emptied regularly to avoid over flow.
 - c. At the end of each day, all trash and debris shall be cleaned up. Including the trash that is blown off of the construction site onto other properties.
 - d. Dumping, burning or burying trash and debris on site is prohibited.
 - e. Heavy debris such as stone, wood scrap, etc. must be removed from the site immediately upon completion of the work of each trade that created the debris.
 - f. Dumping concrete washout in bar ditches, streets or outside the building site is prohibited.

A-1 RANCH
ARCHITECTURAL REVIEW COMMITTEE

CONSTRUCTION REGULATIONS

(Summarized from Section 5, A-1 Ranch Architectural Design Guidelines)

5. Sanitary facilities must be on each and every site, within the building envelope.
6. Access to the site is via the driveway(s) ONLY unless authorize.
7. Parking
 - a. All parking must be on the building site or on ONE SIDE OF THE STREET ONLY, with courtesy to the neighboring driveways, mail boxes, trash containers, etc.
 - b. No parking on neighboring lots unless authorized.
8. Dust and Noise Control
 - a. Builder / Contractor are responsible for controlling dust, mud and noise from the construction site.
 - b. Mud and dust on streets as a result of construction activity shall be regularly removed at builder's expense.
 - c. Playing of radios or use of other audio equipment by construction crews must be limited in number of devices (no more than three) and the volumes regulated as to not disturb the neighborhood.
 - d. Alcohol is not permitted on any construction site.
9. Construction crew pets are not permitted.
10. Material Deliveries
 - a. All material deliveries must be staged on building site only.
11. Any overnight equipment or machinery must be staged on the building site.
12. Carrying any type of firearm on the property is prohibited.
13. Construction hours
 - a. Construction hours are Monday through Saturday, 7:00am to 6:00pm.
 - b. No construction is permitted on any major holidays.

NOTE: These rules and regulations are subject to change without notice.

A-1 RANCH
ARCHITECTURAL REVIEW COMMITTEE

**STANDARDIZED FINE SCHEDULE FOR
CONSTRUCTION VIOLATIONS**

(Summarized from Section 5, A-1 Ranch Architectural Design Guidelines)

The A-1 Ranch Community Association Architectural Review Committee is responsible for monitoring the compliance of each owner and builder within the A-1 Ranch community. The following Construction Regulations and Guidelines procedures are in effect:

- First infraction: Written warning
- Second infraction: \$50 Fine imposed with notice to be deducted from the Construction Compliance Deposit
- Third infraction: \$100 Additional fine imposed with notice and Stop Work Order issued until all infractions are brought into compliance.

Each subsequent infraction of any construction regulation will result in additional fines and an immediate Stop Work Order.

In the event that the enforcement deposit falls below \$500, the relevant party will also be required to take their enforcement deposit back to the original \$2,000 before work can commence.

Staging materials outside building site	Damage to utilities, pavement or adjacent property
Only authorized access into building site	Parking on both sides of street
Trash receptacle outside building site	Overnight parking on street
Sanitary facilities outside building envelope	Playing radio(s) excessively loud or number
Improper disposal of trash or building materials	Having pets on site
Mud, dirt, oil or concrete on road or adjacent property	Improper dress (shirt to be worn at all times)
	Smoking, warming fire or burn barrel*
	Alcohol, drugs or firearms on property

***One notable exception to the above fine notification process is A-1 Ranch zero tolerance Smoking and Fire Policy. The General Contractor of the site where anyone is seen smoking outside a vehicle or designated area with an ashtray or using a warming fire, burn barrel or any other type of open flame will automatically receive a \$1000.00 fine. There will be absolutely no exceptions. A Stop Work Order will be issued until the General Contractor has brought their compliance deposit back up to the original amount.**

This zero tolerance policy also extends to fully charged fire extinguishers, water supply and hoses. Random site inspections may take place to ensure each and every construction site is fully prepared in the event our worst fears are realized.